

3.09 Numbers, Mix, Density:

3.09.1 Numbers and Mix:

The proposed development aims to create a diverse and vibrant residential community, offering a total of 436 residential units. These units are designed in a mix of housing types to cater to various demographic and lifestyle needs, ensuring a balance of accessibility, comfort, and functionality. The breakdown of the proposed units is as follows:

- 141no. houses (133no. 3-bedroom and 8no. 4-bedroom)
- 124no. apartments units (62no. 1-bedroom and 62no. 2-bedroom)
- 106no. duplex units (53no. 2-bedroom and 53no. 3-bedroom)
- 57no. triplex units (57no. 2-bedroom)
- 3no. age-friendly apartment units (3no. 1-bedroom)
- 5no. garden apartment units (5no. 2-bedroom).

For further details, refer to the below DTA Architects Schedule of Accommodation and associated detailed schedules included as part of this application.

3.09.2 Density - Clonburris Planning Scheme Standards:

Per table 2.13.1 of SDZ, “Summary of Planning Scheme Tables”, the relevant numbers and densities are:

- For Sub-sector KSW-S1 - Dwelling number:
- The “low margin” density is 245 no. dwellings
 - The “target” density is 275 no. dwellings
 - The “high margin” density is 306 no. dwellings.

- Net Density:
- Low Margin 40 dph
 - Low Margin 50 dph.

- For Sub-sector KSW-S2 - Dwelling number:
- The “low margin” density is 164 no. dwellings
 - The “target” density is 184 no. dwellings
 - The “high margin” density is 205 no. dwellings.

- Net Density:
- Low Margin 40 dph
 - Low Margin 50 dph.

For both sectors, the Planning Scheme stipulates that: “In the interest of flexibility, each of the density margins are based on a density target, which is then subject to a permissible margin of 10 dwellings per hectare (+5 dph, - 5dph). The lower end of each of the density margins represents the minimum densities achievable and the upper end of each of the density margins represents the maximum densities achievable in each Sub Sector.” Refer to diagram opposite.

- However, Site 4/ KSG4 is made up of:
- Sub-sector KSW-S1 to the north of the South Link Street (SLS) = 6.12 ha
 - Nominally 70% of Sub-sector KSW-S2 to the south (i.e., nom. 70% of nom. 4.09 ha) = 2.87 ha.

On a pro rata adjustment, gives the following figures:

For Sub-sector KSW-S1:
As per above.

- For Sub-sector KSW-S2 - Dwelling number:
- The “low margin” density is 115 no. dwellings
 - The “target” density is 129 no. dwellings
 - The “high margin” density is 144 no. dwellings.

- Net Density:
- Low Margin 40 dph
 - Low Margin 50 dph.

Refer to diagram opposite.

3.09.3 Proposed Dwelling Numbers and Density - KSW-S1:

Calculation based on Site areas noted with SDZ planning scheme:

- Proposed/ provided within KSW-S1:
- Dwelling number: 316 units.
 - Density of (316 units/ 6.12 ha): 52 dph.

This is marginally above the nominal 50dph but comfortably within the permissible margin (+5 dph, -5 dph) and is submitted as compliant with the Planning Scheme guidance. Calculation based actual redline boundary site area:

Based on the detailed topographical survey and the actual application redline boundary for Sub-sector KSW-S1, excluding the South Link Street in accordance with the Planning scheme, the site area is 76,474 m2, being nominally 7.65 ha. On this basis, the proposed density for KSW-S1 is therefore actually 316 units/ 7.65 ha = 42 dph, being fully compliant with the Planning Scheme guidance.

In summary, the proposed residential density within Sub Sector KSW-S1, based on both density calculation methods, is consistent with the Planning Scheme minimum and maximum density margin. Refer to the diagram below for further explanation of this calculation.

Reference also to Stephen Little Associates (SLA) Planning Scheme Compliance Document.

3.09.4 Proposed Dwelling Numbers and Density - KSW-S2:

Calculation based on Site areas noted with SDZ planning scheme:

- Proposed/ provided within the subject portion of KSW-S2:
- Dwelling number: 120 units.
 - Density of (120 units/ 2.87 ha): 42 dph.

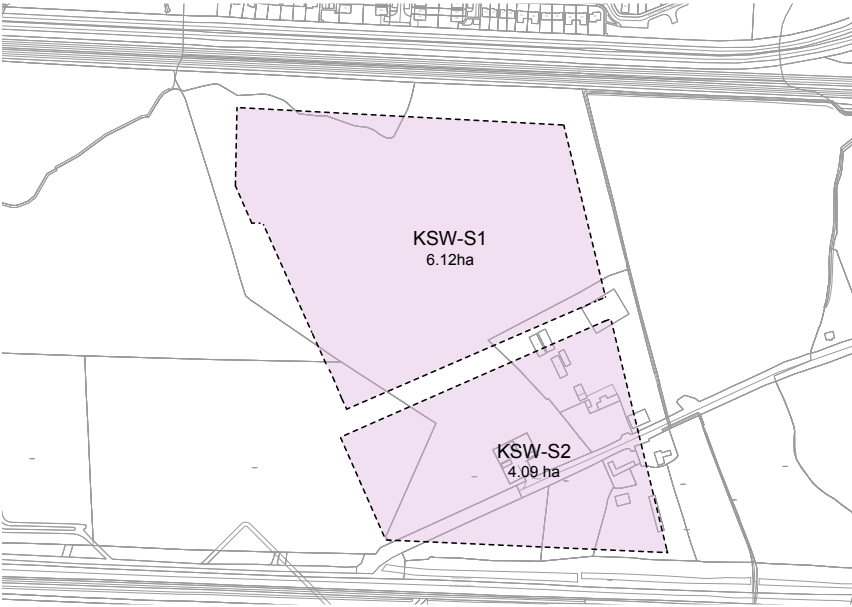
The above is therefore compliant with the Planning Scheme guidance.

Calculation based actual redline boundary site area:
Based on the detailed topographical survey and the actual application redline boundary for the subject nominally 70% portion of Sub-sector KSW-S1 within SDCC ownership, excluding the South Link Street in accordance with the Planning scheme, the site area is 30,231.17 m2, being nominally 3.02 ha. On this basis, the proposed density for the subject portion of KSW-S2 is therefore actually 120 units/ 3.02 ha = 40 dph, being fully compliant with the Planning Scheme guidance.

In summary, the proposed residential density within Sub Sector KSW-S2, based on both density calculation methods, is consistent with the Planning Scheme minimum and maximum density margin. Refer to the diagram below for further explanation of this calculation.

It is also noted that this proposal and the pro-rata basis of calculation as set out above, does not in any way prejudice the achievable density on the balancing 30% of Sub Sector KSW-S2, held in private ownership.

Reference also to Stephen Little Associates (SLA) Planning Scheme Compliance Document.

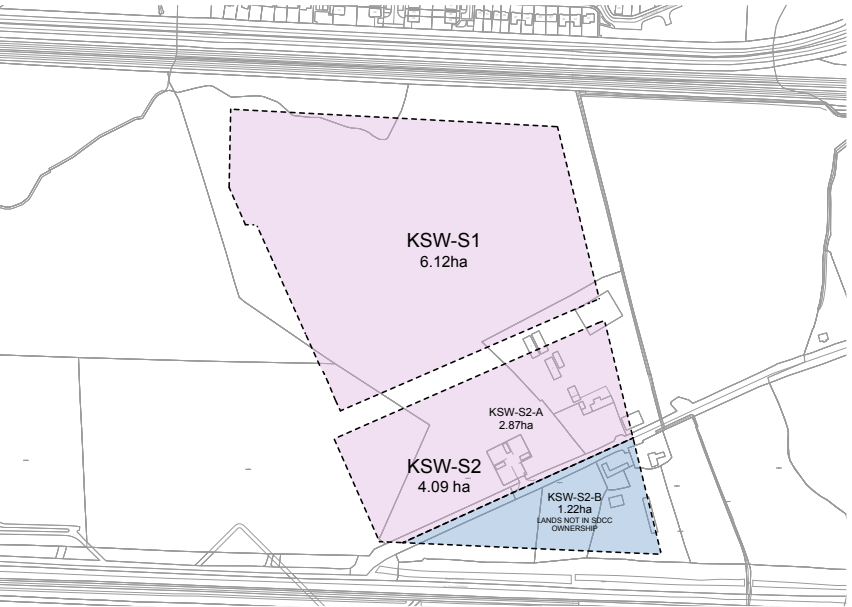


Provisions of SDZ Planning Scheme:

	Low Margin:	Target:	High Margin:	SDZ Site Area (ha):	DPH Low Margin	DPH High Margin
KSW-S1	245	275	306	6.12	40	50
KSW-S2 (100% of Subsector)	164	184	205	4.09	40	50
KSG4 total	409	459	511	10.21		

Table 2.13.1 extract "Summary of Planning Scheme Tables"

SUBSECTORS KSW-S1 AND KSW-S2 - OUTLINES AS PER SDZ



Site Density Calculation:

	Low Margin:	Target:	High Margin:	Site Area (ha):
KSW-S1	245	275	306	6.12
KSW-S2 (nom.70% of subsector within Site 4)	115	129	144	2.87
Site Total	360	404	450	8.99

SUBSECTORS KSW-S1 AND KSW-S2 - AS PER SITE 4
(KSW-S1, 6.12ha AND NOM.70% OF KSW-S2, 2.87ha)

Density Diagrams



Site 4 - Existing Site Survey with SDZ Sub-Sectors Shown - DTA Architects Drawing: 0006 (Basis for Density Calculation Based on Actual Site Areas)

3.10 Tenure Type and Allocation:

The tenure type proposal has been developed:

- In line with SDCC’s direction
- To accord with the 436 no. dwellings
- With the aim is to offer a diverse range of unit types to meet the varying needs of residents
- The tenure type mix is distributed across the site to ensure integration and a balanced community.

The proposed tenure allocation is set out below. Refer to the tenure allocation site plan diagram attached also and included as part of the DTA drawing pack.

Dwelling:	Type:	Total:	Social:	Affordable:
2-storey house:	H1 & H3	133	12	121
3-storey house:	H2	8	-	8
Duplex:	D1 & D2	106	62	44
Triplex:	T1, T2, T3 & T4	57	33	24
Apartments, 1-bedroom:	See Block F, H & J Plan	62	59	3
Apartments, 2-bedroom:	See Block F, H & J Plan	62	38	24
Age-friendly Apartment:	AF	3	3	-
Garden Apartment :	GR1 & GR2	5	-	5
Total:		436	207	229
Percentage:		100%	47.5%	52.5%

UNIT TENURE KEY:

AFFORDABLE PURCHASE UNITS

SOCIAL UNITS

UNIT TYPES - UD/ UD+ UNITS:

H1 AFFORDABLE

H1 SOCIAL

H2 AFFORDABLE

H3 UD+

D1 SOCIAL - UD AT GF

D1 AFFORDABLE

T1, T2, T3 - UD+ AT GF

T4 - UD AT GF

D2 SOCIAL

D2 AFFORDABLE

GR 1 AFFORDABLE

GR 2 AFFORDABLE

AF SOCIAL - UD

UNITS	Social	%	Affordable	%	Total
2 STOREY HOUSE	12	9%	121	90%	133
3 STOREY HOUSE	0	0%	8	100%	8
DUPLEX	62	58%	44	42%	106
TRIPLEX	33	58%	24	42%	57
APARTMENTS - 1B	59	95%	3	5%	62
APARTMENTS - 2B	38	61%	24	39%	62
AGE FRIENDLY APARTMENTS - 1B	3	100%	0	0%	3
GARDEN APARTMENTS - 2B	0	0%	5	100%	5
TOTAL	207		229		436
%	47.5%		52.5%		100.0%



Site 4 -Allocation Tenure Plan - DTA Architects Drawing: 1006

3.11 Non-residential Accommodation:

3.11.1 Overview:

The proposal includes a total of nominally 1,550 m² of non-residential uses, which meets the non-residential floor area quantum for the Kishoge South West Development Area in accordance with Table 3.3.8 of the Planning Scheme. Refer also to 3.04.1 above in relation to demonstration of compliance with the SDZ Planning Scheme. Refer also to the Stephen Little Associates (SLA) Planning Scheme Compliance Document.

Details of the provision are set out below.

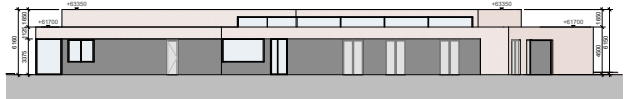
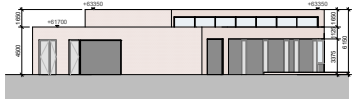
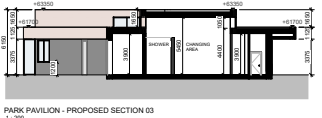
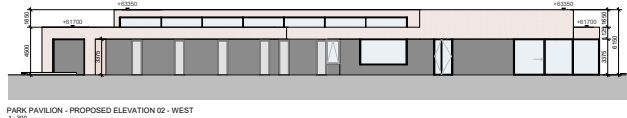
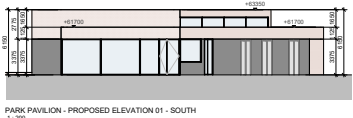
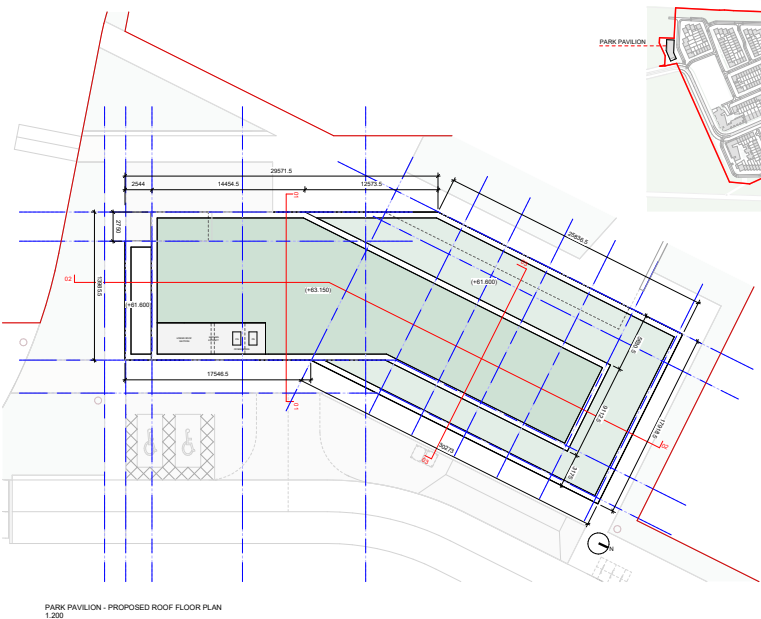
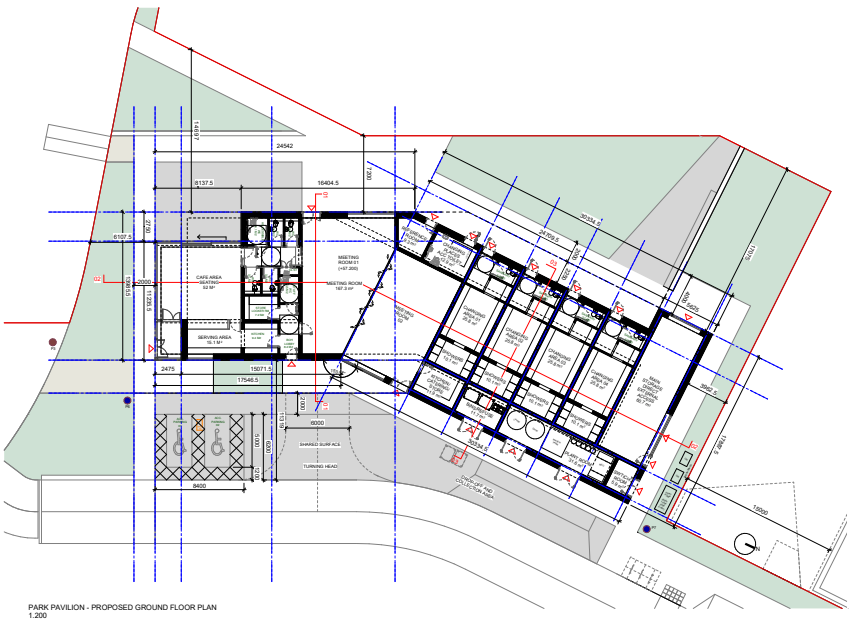
3.11.2 Community:

The community facilities are provided in a dedicated Park Pavilion of nominally 683 m², which:

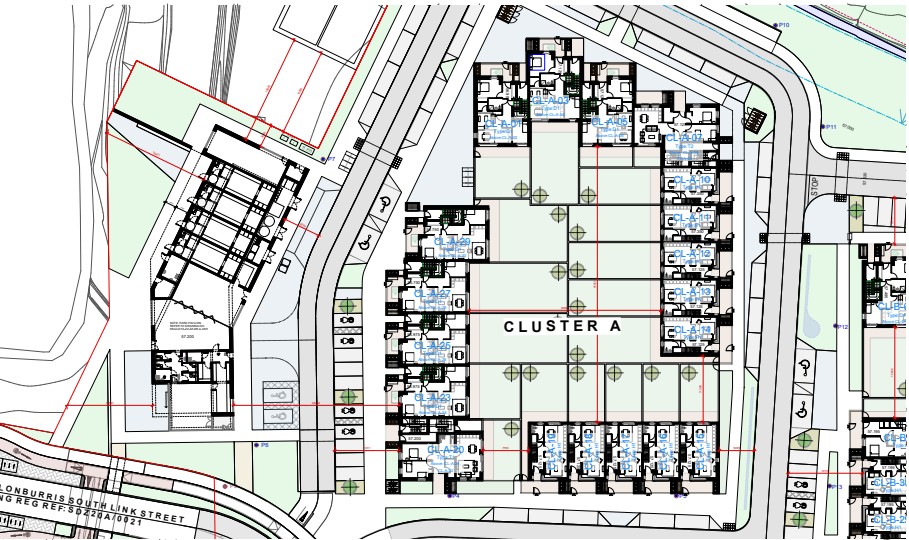
- Provides the required community use
- In an appropriate type, use and location
- Serving the adjacent active amenity/ sports facilities to be included within the Griffeen Valley Park
- Aligning with a key objective for the Kishoge Southwest area to establish a local node near Griffeen Valley Park
- Forming an interface between the primary residential zones and moderating the transition to the Park, with a consistency of materiality and expression
- Effectively screens the existing Pumping Station to the north
- Marks and articulates the prominent corner/ bend of the South Link Street,
- With a dynamic single storey form with clerestory lighting and active public uses including café
- And a considered hard and soft landscape design.

The accommodation provided is:

- 4 no. changing rooms to include changing areas, sanitary and shower facilities at c.48 m² each
- 1no. large storage room, for sports equipment, c. 60 m²
- 1 no. Changing Places Accessible Toilet, c.13 m²
- 1 no. Referee Room, c.13 m²
- 1 no. large meeting/ multi-purpose room, c.170 m², with ability to be separated into two rooms, each with separated/ individual entrances/ access
- Café area, c. 52 m², with associated ancillary accommodation, to include a servery, kitchen area, staff toilet, public sanitary accommodation, waste/ refuse area and plant room.



Community Pavilion



Cluster A Plan - DTA Architects Drawing: 1025



CGI View 11 - Community Park Pavilion, Cluster A

3.11.3 Retail:

A nominally 150 m² retail shop is proposed on the ground floor of the 'landmark building' in Cluster F, articulating the corner and at a convenient location suitable for a local shop. Clonburris Infrastructure Limited (CIL) have confirmed the requirement for local retail at this location, with larger primary retail provision located at Development Area 6, Kishoge Urban Centre (KUC), to the east of site 4.

The retail space includes:

- A nominally net 112 m² shop floor retail space
- With extensive corner frontage and direct access from the South Link Street
- Nominally 38 m² of ancillary back of house accommodation, including an accessible staff WC, a dedicated waste/ refuse storage, street access/ means of escape.

3.11.4 Non-Retail Commercial Development/ Employment:

This is provided in two locations as set out below, to provide a total of 717 m² Non-Retail Commercial Development/ Employment use.

Grange House:

The existing Grange House is a 2-storey building, approximately c. 173 m², designated as a Heritage Structure of local interest in the Planning Scheme. This Part 10 Submission proposes the change of use to employment and its refurbishment/ upgrade of the building to preserve its character in line with its heritage significance. The specific use/ function of the building will be determined through a future planning application, as directed by SDCC. Additionally, a public external amenity is planned for the building's curtilage, as detailed in the landscaping strategy in section 4.03 and the accompanying package from the project Landscape Architect, BSLA.

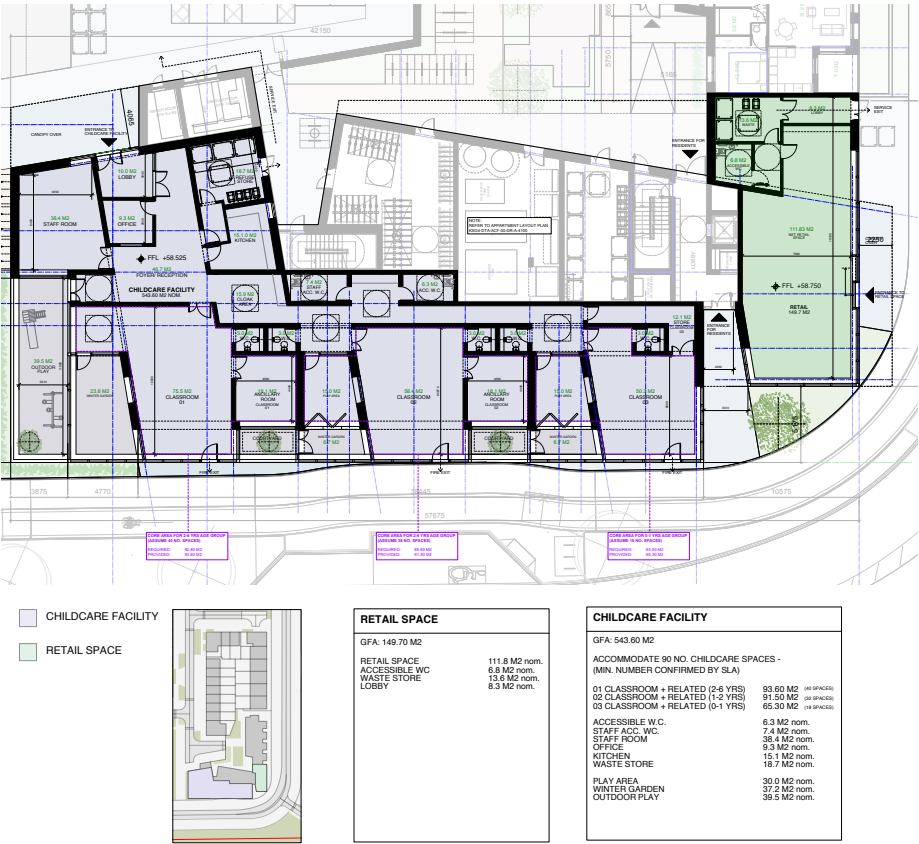
Childcare Facility:

A substantial Childcare Facility (544 m²) provided on the ground floor of the 'landmark building' in Cluster F, centrally located to provide for/ accommodate approximately 90 children, as advised by Stephen Little Associates (see their Planning Application Report, included with this application). The Childcare Facility is strategically located in immediate proximity to the future school site, fostering a direct connection to the broader learning environment and providing for ease of pre and after school drop off and collection.

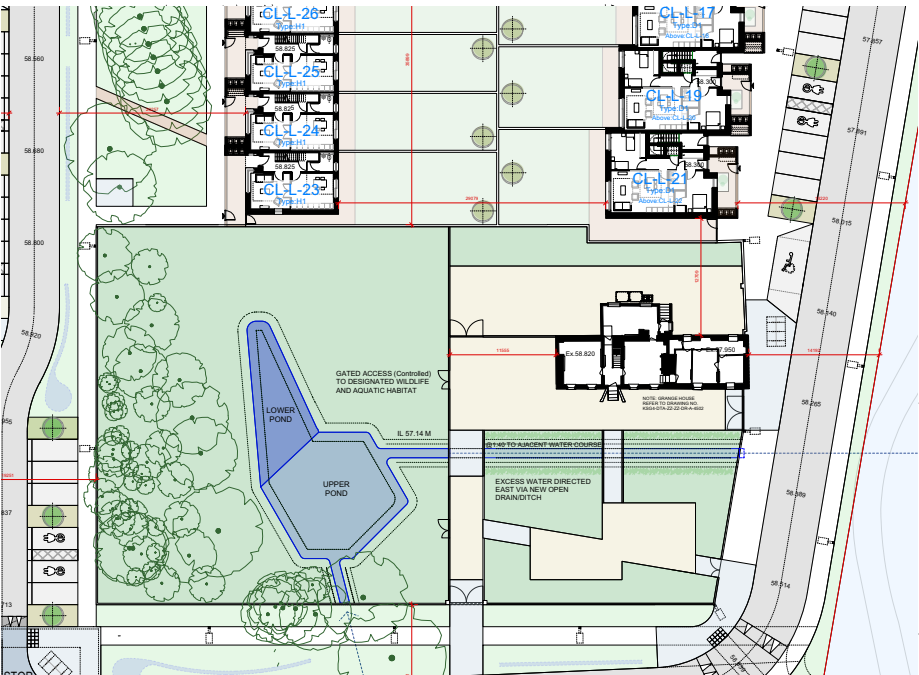
The accommodation provided is:

- Secure/ sheltered entrance, directly accessible for the pedestrian and vehicular drop off location
- Entrance lobby/ area with storage/ coats
- Staff office and staff room
- Kitchen facility
- 3 no. core classrooms, designed for specific age groups, with flexibility for further sub-division if needed
- Each classroom includes a safe contained external winter garden/ courtyard for additional breakout/ play and activity area
- Permitting generous south/ west daylight but with secure privacy screens to the street frontage
- Storage facilities in each classroom
- Ancillary services spaces including kitchen, children and staff toilets, and bin/ refuse area
- A secure and supervised/ overlooked outdoor play area, screened from the street.

Refer also to the Stephen Little Associate (SLA) Planning Scheme Compliance Document.



Apartment Block F - Ground Floor Plan - Childcare Facility and Retail Unit
DTA Architects Drawing: 4500



Part of Cluster L - Grange House - Employment Use - Site Plan Showing Public Amenity
DTA Architects Drawing: 1034

3.12 Car Parking Provision:

Refer to Section 5.01.13 below for Car Parking provision.

3.13 Bicycle Parking Provision:

Refer to Section 5.01.14 below for Bicycle Parking provision.

3.14 Refuse/ Bins/ Waste:

Refer to Section 5.01.15 below for Refuse Storage provision.